

TATE TOWNSHIP ZONING RESOLUTION

(ADOPTED: mmmm dd,yyyy)

ARTICLE 7 PARKING, LOADING, AND CIRCULATION

THIS PAGE INTENTIONALLY BLANK

ARTICLE 7. PARKING, LOADING, AND CIRCULATION

7.01. PURPOSE

The purpose of this article is to regulate the amount and location of vehicle parking, loading areas, access, and mobility to promote efficient use of land, enhance the form of development, provide for safe pedestrian movement, and protect air and water quality.

7.02. APPLICABILITY

7.02.A. Any building, structure, or use of land, when erected or enlarged, increased in capacity, or results in the addition of employees, dwelling units, or seating capacity, shall provide a parking plan, as established in [Section 7.04. Parking Plan](#), to be reviewed and approved by the Zoning Inspector.

7.02.B. This article shall apply to all new property development, any expansion of existing structures or parking lots, and expansions of existing parking areas, except for single-family (attached and detached) and two-family dwellings, as established in [Table 7.02-1: Applicability of Parking, Loading, and Circulation Standards](#).

Table 7.02-1: Applicability of Parking, Loading, and Circulation Standards	
Site/Building Improvement	Applicability of Parking, Loading, and Circulation Standards
NEW CONSTRUCTION	
New Construction	Full Compliance
BUILDING EXPANSION / ADDITION	
Less than 25% of floor area	N/A
Less than 25% of floor area, but > 2,000 sq. ft.	Full compliance for additional spaces required
25 – 50% of floor area	Full compliance for additional spaces required
> 50% of floor Area	Full Compliance
EXTERIOR FAÇADE RENOVATION	
< 25% of Façade Area	N/A
25 – 50% of Façade area	N/A
> 50% of Façade Area	N/A
CHANGE OF USE / OCCUPANT	
Change in Use Only (No Expansion or Renovation)	Must provide additional spaces per new use
VEHICULAR USE AREA IMPROVEMENTS	
Parking Lot Expansion < 10 Spaces	N/A
Parking Lot Expansion > 10 spaces	Full Compliance for New Spaces
Resurfacing or Restriping ^[1]	N/A

7.03. MAINTENANCE

The duty to provide and maintain all parking, loading, and/or other vehicular use areas shall be the responsibility of the property owner where the vehicular use area is required. This includes maintaining curbing, paving surfaces, and pedestrian ways in good condition without failing materials, potholes, or other similar deterioration.

7.04. PARKING PLAN

ARTICLE 7. PARKING, LOADING, AND CIRCULATION

7.05. PARKING REQUIREMENTS

A parking plan, as required in [Section 7.02. Applicability](#) shall be required for all uses, except for detached single-household dwellings and two-household dwellings. The parking plan shall be submitted to the Zoning Inspector as part of the applicable development plan or zoning certificate application. The plan shall be drawn to scale and shall show the following.

- 7.04.A.** The boundaries of the property;
- 7.04.B.** The proposed number of parking spaces, including typical dimensions;
- 7.04.C.** Access drives and maneuvering aisles, including dimensions and locations;
- 7.04.D.** Vehicular and pedestrian circulation patterns;
- 7.04.E.** Preliminary drainage and grading plans;
- 7.04.F.** A lighting and photometric plan if the proposed property abuts a residential or agricultural district or use;
- 7.04.G.** The location(s) of any proposed fences or walls;
- 7.04.H.** A landscaping and buffering plan;
- 7.04.I.** An analysis of the required parking spaces according to [Section 7.05. Parking Requirements](#); and
- 7.04.J.** Any additional information as requested by the Zoning Inspector.

7.05. PARKING REQUIREMENTS

Each applicant is required to provide an adequate number of parking spaces for the proposed use or expansion of use, following the minimum established in the following table.

Table 7.05-1: Parking Spaces Required	
Principal Use	Minimum Spaces Required (Unless Specified Otherwise)
AGRICULTURAL USES	
Agribusiness	1 space per employee on the largest shift, plus 1 space per 10 employees
RESIDENTIAL USES	
Dwelling, Single-Family	2 spaces per dwelling
Dwelling, Two-Family	2 spaces per dwelling
Dwelling, Three-Family	2 spaces per dwelling
Dwelling, Multi-Family	1 space per dwelling, plus 1 space per every 10 dwelling units
Mobile Home	2 spaces per dwelling
Residential Facility	1 space per every 2 beds
Residential Treatment Facility	1 space per every 2 beds
PUBLIC/INSTITUTIONAL USES	
Cemetery	n/a
Education Facility – Public or Private (Pre-K, Elementary, and Junior High)	2 spaces per classroom
Education Facility – Public or Private (High School)	10 spaces per classroom
Education Facility – Trade, College, or University	10 spaces per classroom
Governmental Facility	1 space per 500 square feet of floor area
Library, Museum, Gallery	1 space per 500 square feet of floor area

ARTICLE 7. PARKING, LOADING, AND CIRCULATION**7.05. PARKING REQUIREMENTS**

Park or Recreation Facility, Public	1 space per acre; 20 spaces per sport court or field; and 1 space per 75 square feet of water surface of pools
Religious Assembly / Place of Worship	1 space per 5 seats or 100 square feet of floor space in the auditorium/sanctuary; whichever is greater
COMMERCIAL USES	
Animal Kennel, Daycare, and Training Facility	1 space per 500 square feet of floor area, plus 1 space per employee on the largest shift
Animal Hospital, Veterinarian Office and Clinic	1 space per treatment room, plus 1 space per employee on the largest shift
Automotive Fueling / Charging	1 space per 500 square feet of floor area plus 1 space per employee on the largest shift
Automotive Rental	1 space per 500 square feet of floor area plus 1 space per 2,000 square feet of outdoor area
Automotive Sales / Leasing, Commercial and Recreational Vehicles	1 space per 500 square feet of floor area plus 1 space per 2,000 square feet of outdoor area
Automotive Sales / Leasing, Passenger Vehicles	1 space per 500 square feet of floor area plus 1 space per 2,000 square feet of outdoor area
Automotive Service / Repair, Major	4 spaces for each service bay
Automotive Service / Repair, Minor	4 spaces for each service bay, plus 1 space per employee on the largest shift
Automotive Washing / Detailing	1 space per employee on the largest shift
Banks and Financial Institutions	1 space per 400 square feet of floor area
Bar / Tavern	1 space per 300 square feet of floor area
Bed and Breakfast	1 space per bedroom, plus 2 spaces for the owner of the dwelling
Brewery, Distillery, Winery, Cidery	1 space per employee; plus 1 space per 3 seats for any restaurant or taproom
Brewpub	1 space per 150 square feet of floor area
Campgrounds and Recreational Vehicle Camps	1 space per designated campsite, plus 1 space per RV space
Club, Lounge, or Meeting Hall	1 space per 400 square feet of floor area
Day Care Center	1 space per every 5 children
Drive-In Theater	1 space per viewing stall, plus 1 space per employee on the largest shift
Eating and Drinking Establishment	1 space per 150 square feet of floor area
Fitness Center	1 space per 200 square feet of floor area
Fitness Studio	1 space per 200 square feet of floor area
Funeral Home	1 space per 35 square feet of floor area
Garden Center / Greenhouse / Nursery	1 space per 500 square feet of land area used for display plus 1 parking space per employee
Hospital	1 space per each 4 beds
Hotel / Motel	1 space per each guest room
Institutional Care Facility	1 space per 500 square feet of floor area, plus 1 space per employee on the largest shift
Marijuana Business	1 space per 500 square feet of floor area
Medical Office, Clinic, or Urgent Care	1 space per 200 square feet of floor area
Mixed-Use	The parking regulations for the uses contained within the mixed use building or development shall be dictated by this table
Office	1 space per 400 square feet of floor area
Parking, Commercial and Fleet Vehicles	
Personal Services	1 space per 200 square feet of floor area
Recreation or Entertainment Facility, Indoor	1 space per 200 sq. ft. of floor area + 2 spaces per sports court or lane

ARTICLE 7. PARKING, LOADING, AND CIRCULATION

7.05. PARKING REQUIREMENTS

Recreation or Entertainment Facility, Outdoor	1 space per 5,000 sq. ft. of site area + 1 space per 4 fixed seats
Retail Sales and Service	1 space per 500 square feet of floor area
Retail Sales and Service, Large-Scale	1 space per 200 square feet of floor area
Sexually Oriented Business	1 space per 500 square feet of floor area
INDUSTRIAL USES	
All Industrial Uses Not Specifically Listed	1 space per employee on the largest shift, plus 1 space per 10 employees
Self-Storage Facility	2 spaces per employee on the largest shift
ACCESSORY USES	
Accessory dwelling unit	1 designated space per unit
Short-Term Rentals	1 space dedicated for each bedroom as indicated on the Short-Term rental application

7.05.A. Uses Not Listed

For uses not listed in this section, or such instances when the requirement for an adequate number of spaces is unclear, the number of parking spaces shall be determined by the Tate Township Zoning Commission on the basis of similar use requirements, the number of persons served, number of employees, typical visitors, and other similar factors.

7.05.B. Units of Measurement

For this section, the following unit measurements shall apply:

7.05.B.1. Fractional units shall be rounded up to the next whole number for calculating required parking spaces.

7.05.B.2. For the parking requirements that use floor area (example: 1 space per 300 sq. ft.) as the standard, floor area shall:

7.05.B.2.a. Include the gross floor area used or intended to be used by tenants or for service to the public as customers, clients, patients, or patrons, including areas occupied by fixtures and equipment, used for the display or sale of merchandise.

7.05.B.2.b. Not include areas used principally for non-public purposes such as storage, incidental repair, processing or packing of merchandise, show windows, offices incidental to the management or maintenance of stores or buildings, toilet or restrooms, utilities, dressing rooms, or alteration rooms.

7.05.B.3. Where the required parking is determined by the number of employees, the maximum number of employees on duty at one (1) time, or any two (2) successive shifts, whichever is greater, shall be used.

7.05.B.4. In places of public assembly in which patrons occupy benches, pews, or other similar seating facilities, every 30 inches of such seating shall be counted as one (1) seat for the purposes of determining the parking requirements.

7.05.B.5. For mixed use developments, the parking requirement shall be the sum of the parking requirements for each use considered separately. The Zoning Inspector may consider modifying the required number of spaces on an individual basis as enumerated in [Section 7.05.C. Modification of Requirements](#).

7.05.C. Modification of Requirements

7.05.C.1. The Tate Township Board of Zoning Appeals may modify the number of required parking spaces if it is deemed appropriate based on the following factors:

7.05.C.1.a. Parking demand of the proposed use;

7.05.C.1.b. Number of typical patrons or employees;

7.05.C.1.c. Shared parking opportunities;

7.05.C.1.d. Off-street parking availability;

7.05.C.1.e. Alternative transportation usage;

7.05.C.2. As part of the approval for a reduction in the number of required parking spaces, the approving body may require the applicant to reserve land on the subject property to be designated for a future parking area.

7.05.D. Shared Parking

Subject to approval by the Tate Township Zoning Commission, up to 50 percent of required off-street parking spaces for two (2) or more uses located on the same parcel or adjacent parcels may be shared provided the developer and/or landowner can demonstrate that the use will not substantially overlap in hours of operation or demand for the shared spaces. This shall be guaranteed by a written agreement properly drawn up and executed by the parties concerned, approved as to form by the Township legal counsel, and filed with the application for a zoning certificate.

7.06. PARKING FOR THE DISABLED

In addition to the required number of spaces as established by [Section 7.05. Parking Requirements](#), parking spaces required for people with disabilities shall be provided in compliance with the Americans with Disabilities Act (ADA) and other applicable state and federal requirements. All spaces shall include the necessary markings, striping, and signage. All spaces should be located so that they provide easy access from the closest parking spaces to the major entrance(s) of the use for which they are provided.

7.07. SURFACING

All parking areas, greater than 10 spaces, shall adhere to the following:

7.07.A. All off-street parking areas, spaces, lots, and access drives to such parking areas shall be surfaced with asphalt or concrete of sufficient depth to meet the standard engineering practice for the design of pavements for the anticipated traffic load, in accordance with the standards of the Clermont County Engineer's Offices.

7.08. LOTS UNDER CONSTRUCTION

Lots under construction shall pave the first 20 feet of all access roads/drives in order to keep debris off the public right-of-way within 30 days of the issuance of a Zoning Certificate.

7.09. GRADING AND DRAINAGE

ARTICLE 7. PARKING, LOADING, AND CIRCULATION

7.10. MARKINGS

Such areas shall be graded and drained as to dispose of all surface water accumulated within the area, utilizing best practices including but not limited to, rain gardens and pervious pavers, in accordance with the standards of the Clermont County Engineer's Office.

7.10. MARKINGS

Parking areas shall be arranged and marked as to provide for safe loading, unloading, and parking of vehicles and self-propelled vehicles (such as bicycles and scooters).

7.11. PARKING LOCATION AND DESIGN

7.11.A. Uses which utilize private common parking areas must demonstrate that legal rights of easement exist and have been recorded to permit the use of parking spaces on adjacent or surrounding property. This documentation shall be provided to the Zoning Inspector before a Zoning Certificate is issued for said use.

7.11.B. All off-street parking areas shall be designed in a way to prevent vehicles from directly backing out of the lot onto a public street.

7.11.C. The spacing, location, and number of entrances and exits from the parking areas shall be approved by the Clermont County Engineer's Office or the Zoning Inspector.

7.12. RESIDENTIAL PARKING REQUIREMENTS

7.12.A. Single-family residential dwellings (attached or detached) shall provide a minimum of two (2) parking spaces. Two-family residential dwellings shall provide a minimum of three (3) parking spaces unless an alternate parking plan is approved by the Township. Parking spaces within a garage, or in the driveway area, shall count towards this requirement.

7.12.B. Vehicles shall be required to park in the garage or defined driveway or designated and delineated area only. Parking of vehicles on the lawn, or in other areas not designated for parking, for more than 24 hours in any seven (7) day period shall be prohibited. This subsection does not regulate parking in the street right-of-way.

7.12.C. The surface coverage ratio of the required front yard shall not exceed 30 percent. The surface coverage ratio shall include porches, sidewalks, driveways, and/or other impervious surfaces that project into the required front yard (excluding the public right-of-way).

7.12.D. The storage of recreational vehicles is subject to [Section 3.10.S Parking and Storage of Recreational Vehicles](#).

7.13. PARKING OF COMMERCIAL VEHICLES

7.13.A. Commercial Vehicles in Residential Districts

7.13.A.1. No commercial vehicles, as defined in [Article 13. Definitions](#) shall be parked on any lot within any R-District unless:

7.13.A.1.a. Providing commerce or services to that property;

7.13.A.1.b. Approved as part of a Home Occupation per [Section 3.10.L Home Occupation](#);

ARTICLE 7. PARKING, LOADING, AND CIRCULATION

7.14. PARKING AISLE AND SPACE DIMENSIONS

- 7.13.A.1.c.** Stored within an entirely enclosed building under the same ownership as the commercial vehicle; or
- 7.13.A.1.d.** Otherwise permitted herein.
- 7.13.A.2.** One (1) commercial vehicle shall be permitted to be parked or stored on a driveway in any residential district if:
- 7.13.A.2.a.** The property is a minimum of one (1) acre in size
- 7.13.A.2.b.** The commercial vehicle is screened from adjacent residential uses and districts;
- 7.13.A.2.c.** Does not provide occupancy for human habitation; and
- 7.13.A.2.d.** No business is conducted therein.
- 7.13.B. Commercial Vehicles in Commercial Districts**
- No commercial vehicle shall be parked on any lot within any commercial district (CR, CC, or CG) unless:
- 7.13.B.1.** The commercial vehicle is for the purpose of providing commerce or services to that property;
- 7.13.B.2.** The commercial vehicle is licensed to or affiliated with the business located thereon;
- 7.13.B.3.** The commercial vehicle is being repaired thereon;
- 7.13.B.4.** The lot is an approved truck terminal or truck stop; or
- 7.13.B.5.** The commercial vehicle is parked at an establishment that offers overnight accommodations, provided the driver of the vehicle is a guest at such an establishment.

7.14. PARKING AISLE AND SPACE DIMENSIONS

Each off-street parking space and maneuvering aisle shall have the minimum width as set forth in the following table.

Table 7.14-1: Parking Aisle and Space Dimensions						
Parking Aisle Orientation	A		B	C	D	E
	Drive Aisle Width		Space Width	Length of Space	Approximate Curb to Curb (Single-Bay)	Approximate Bay Width (Center to Center)
	One-way	Two-way				
0 degree / parallel	12 feet	20 feet	9 feet	21 feet	38 feet	38 feet
45 degrees	14 feet	20 feet	9 feet	18 feet	56 feet	53 feet
60 degrees	18 feet	22 feet	9 feet	18 feet	60 feet	58 feet
90 degrees	24 feet	24 feet	9 feet	18 feet	60 feet	60 feet

ARTICLE 7. PARKING, LOADING, AND CIRCULATION

7.15. VEHICLE OVERHANG

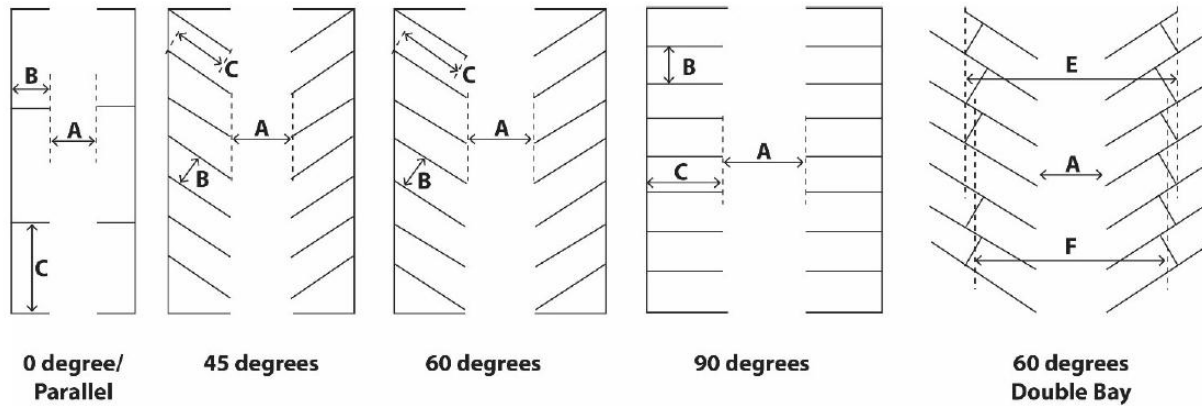


Figure 7-1 - Parking Aisle and Space Dimension Illustration

7.15. VEHICLE OVERHANG

- 7.15.A.** When parking spaces abut a landscaped area, grassy strip, or yard, a reduction of a maximum of two (2) feet of the overall length of any such space or spaces may be allowed as vehicles may extend into the landscape area, grassy strip, or yard.
- 7.15.B.** When parking spaces abut a pedestrian path, a reduction of a maximum of two (2) feet of the overall length of any such space or spaces may be allowed provided that the vehicle overhang does not reduce the pedestrian path to less than four (4) feet in width and does not encroach on the pedestrian circulation.
- 7.15.C.** A wheel stop, or curb, shall be utilized to delineate the limitations of the parking area.

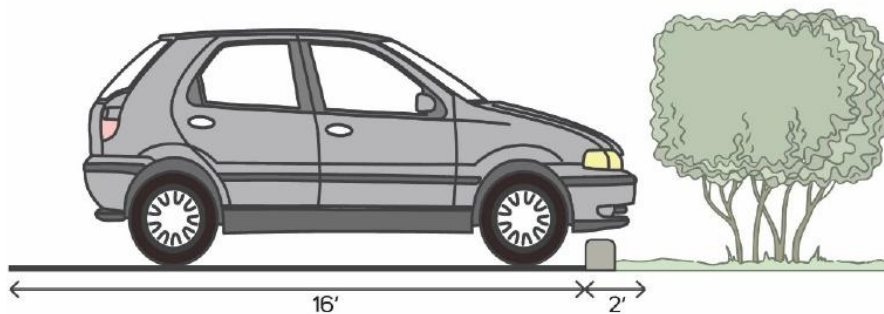


Figure 7-2: Vehicle overhang illustration

7.16. OFF-STREET LOADING STANDARDS

7.16.A. Dimensions

Each off-street loading space shall be at least 10 feet in width, 50 feet in length, and have a vertical clearance of 15 feet or more. Access aisles shall be provided in order to provide the necessary maneuvering space for delivery trucks.

7.16.B. Paving and Drainage

All loading spaces shall be graded and improved with bituminous concrete or Portland concrete and provide drainage in accordance with the standards of the Clermont County Engineer's Office.

7.16.C. Location

All required loading spaces shall be off-street and shall be located on the same lot as the specific use to be served. No loading space shall be located within a front, side, or rear yard setback and in no case shall any space be located less than 50 feet from any residential zoning district.

7.16.D. Number of Off-Street Loading Spaces Required

In connection with every building or part thereof erected for commercial and industrial uses which customarily receive or distribute material or merchandise by vehicle (such as food deliveries to restaurants, merchandise deliveries to retail stores, material deliveries to manufacturing facilities, etc.), there shall be provided, on the same lot with such buildings, off-street lading spaces with the requirements herein, except for existing legal non-conformities. Off-street loading requirements shall be as follows:

Table 7.16-1: Off-Street Loading Requirements	
Square Footage of Principal Building	Number of Loading Spaces Required
Commercial Uses	
< 1,000 sq. ft.	0
1,001 – 10,000 sq. ft.	1
10,001 – 40,000 sq. ft.	2
> 40,000 sq. ft.	3, plus 1 space for each 30,000 sq. ft. over 40,000 sq. ft. of building area
Industrial Uses	
< 2,000 sq. ft.	0
2,001 – 10,000 sq. ft.	1
10,001 – 40,000 sq. ft.	2
> 40,000 sq. ft.	3, plus 1 space for each 30,000 sq. ft. over 40,000 sq. ft. of building area

7.16.E. Exceptions and Modifications

The Board of Zoning Appeals may authorize a modification, reduction, or waiver of the foregoing requirements if they should find that there is an exceptional situation or condition that justifies such action.

7.17. OFF-STREET STACKING SPACES

7.17.A. The minimum number of required stacking spaces shall be as provided in the following table.

Table 7.17-1: Stacking Space Requirements		
Activity	Minimum Stacking Spaces (per lane)	Measured From
Restaurant with a drive-through/pick-up	6	Pick-up window
Restaurant with a pick-up window only	2	Pick-up window
Financial Institutions or ATM	4	Teller or window
Automotive Fueling	2	Pump island
Pharmacy	5	Pick-up window
Automotive Washing / Detailing, Full-Service	6	Outside of washing bay
Automotive Washing / Detailing, Self-Service	2	Outside of washing bay
Other	As determined by the Zoning Inspector	

ARTICLE 7. PARKING, LOADING, AND CIRCULATION

7.18. APPEALS

- 7.17.B.** Each off-street stacking space shall have a minimum dimension of 10 feet in width and 20 feet in length and shall be set back a minimum of 25 feet from rights-of-way.
- 7.17.C.** Drive-through lanes must be separated by striping or curbing from other parking and circulation areas. Individual lanes must be striped, marked, or otherwise distinctly delineated.
- 7.17.D.** Vehicle stacking spaces shall be located on the side and rear of the building.
- 7.17.E.** Vehicle stacking spaces shall not interfere with access to the site and not impede traffic on the adjacent streets.
- 7.17.F.** The Zoning Commission may authorize a modification, reduction, or waiver of the foregoing requirements if they should find that there is an exceptional situation or condition that justifies such action.

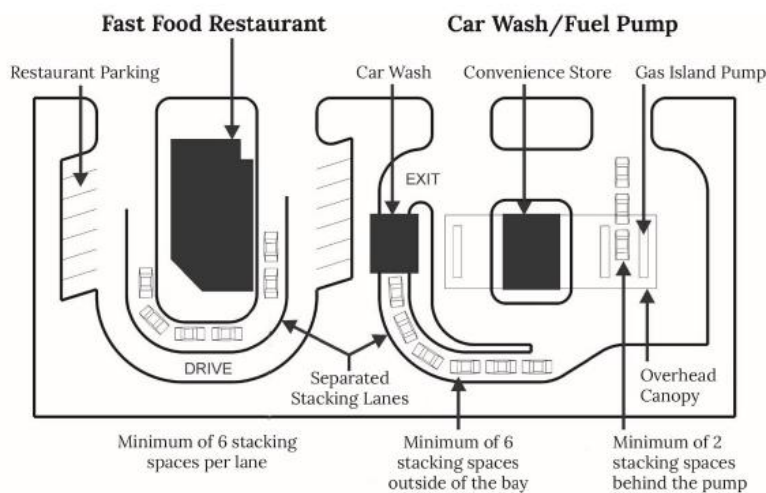


Figure 7-3: Example of off-street stacking space placement

7.18. APPEALS

The Zoning Inspector has the authority to reject a parking plan and/or analysis if they determine that an adequate amount of parking has not been provided. The applicant may appeal the decision to the Tate Township Board of Zoning Appeals per the appeals regulations in [Section 10.06.D. Administrative Appeals](#).